 <p>Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate</p>	TO:	PLANNING COMMITTEE
	DATE:	28 th June 2023
	REPORT OF:	HEAD OF PLANNING
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AGENDA ITEM:	7	WARD: CKW - Chipstead, Kingswood And Woodmansterne

APPLICATION NUMBER:	22/02835/F	VALID:	17/01/2023
APPLICANT:	Macar Bespoke (Whl) Limited	AGENT:	
LOCATION:	JOSIL, WATERHOUSE LANE, KINGSWOOD, SURREY, KT20 6DT		
DESCRIPTION:	Demolition of existing house, erection of 1 no. detached house with 5 bedrooms and 2 no. semi-detached houses with 4 bedrooms with associated refuse storage and new landscaping; provision of two new vehicular accesses and closure of existing access. As amended on 03/02/2023.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full application for the demolition of an existing detached dwelling and the erection of 1x detached 5 bed dwelling and a pair of semi-detached 2 bed dwellings to the north side of Waterhouse Lane in Kingswood. The site is currently occupied by a single detached dwelling within a large broadly rectangular plot and falls within the Alcocks Lane and Waterhouse Lane Residential Area of Special Character. The surrounding area is defined by large dwellings set generous sized plots with a predominance of vegetation although there are smaller plots within this part of the RASC.

The proposed dwellings would be of a traditional design in terms of their form and materials and would be commensurate in appearance and scale to other properties in the RASC. Whilst two of the dwellings would be semi-detached, they would appear as a large single dwelling with single, open frontage that would be similar in appearance to that of an extant scheme (22/00047/F) on the site for two detached dwellings. On this basis their appearance would be acceptable within the RASC.

The proposed dwellings would be an acceptable distance from neighbouring properties such that they would not give rise to harm to amenity. They would not be overbearing in nature or result in overshadowing, and any proposed side facing windows would be condition to be obscure glazed to avoid overlooking.

Much of the existing soft landscaping would be retained and supplemented by additional planting in the form of native species. It is proposed to remove two prominent trees from the front boundary and other vegetation, however these would be replaced to maintain the soft frontage, and the predominance of soft landscaping would be maintained.

The site has not identified the presence of bats or other protected species, therefore the development would not harmfully impact the existing ecology of the site. Conditions to secure biodiversity enhancements/benefits would be included in the event of permission being granted.

Each of the proposed dwellings would be provided with two car parking spaces, which would meet the required residential parking standards. Further benefits in the form of cycle storage and electric charging points could also be secured by condition. The County Highway Authority has reviewed the application and considers that the access arrangements for each dwelling would be acceptable and would not give rise to harm to highway safety.

It is considered that the proposal would be an acceptable form of development within the RASC in terms of design, impact on neighbouring amenity, impact on trees and landscaping, ecology, parking and access, and is therefore recommended for approval.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The proposed development has been considered by The County Highway Authority who, having assessed the application on safety, capacity and policy grounds, raise no objection subject to conditions and informatives relating to site lines, closure of the existing access, parking, construction management, and the provision of electric vehicle charging points.

Surrey Wildlife Trust: No objection subject to informatives in relation to breeding birds, lighting and biodiversity enhancements.

Representations:

Letters were sent to neighbouring properties on 26th January 2023. Four representations have been received, including one on behalf of the Kingswood Residents Association, raising the following issues:

Issue	Paragraph(s)
Overdevelopment	Paragraph 6.4-6.9
Out of character with surrounding area	Paragraph 6.4-6.9
Overlooking and loss of privacy	Paragraph 6.10-6.13
Overshadowing	Paragraph 6.10-6.13
Inconvenience during construction	Paragraph 6.17-6.19
Increase in traffic and congestion	Paragraph 6.17-6.19
Loss of/harm to trees	Paragraph 6.20-6.21
Noise & disturbance	Paragraph 6.30
Loss of private view	Paragraph 6.31

1.0 Site and Character Appraisal

1.1 The site comprises a detached, two-storey house known as 'Josil', built in the late 1970s in a reasonably good-sized plot that once belonged to the garden of a property called 'Long Orchards' which is now a flatted building to the north. Josil has a chalet-style design which has been extended to the east side where there used to be a garage. The original stone clad walls have

been rendered but the vertical timber cladding at first floor remains. The roof is finished in brown concrete profiled tiles.

- 1.2 There are mature trees and vegetation within and surrounding the site. The land slopes up from Waterhouse Lane and the curved driveway provides a wide access onto the road. The application site is within the Alcocks Lane and Waterhouse Lane Residential Area of Special Character (RASC), and this RASC is characterised by substantial sized dwellings set within large curtilages with mature gardens creating an impression of verdant soft, leafy landscapes including mature trees, shrubs and hedges.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was not sought from the local planning authority prior to the submission of the application.
- 2.2 Improvements secured during the course of the application: Improvements have not been secured during the course of the application as the proposed development is considered to be acceptable.
- 2.3 Further improvements to be secured through the use of conditions: Further improvements could be secured by way of suitably worded conditions and informatives.

3.0 Relevant Planning and Enforcement History

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|-----|------------|---|----------------------|
| 3.1 | 21/00656/F | The proposed development within this application is to remove the existing dwelling and redevelopment of the site as a residential scheme providing 2 five bedroom family homes set over two floors and integrated double garages. | Refused 2 June 2022 |
| 3.2 | 22/00047/F | The proposed development within this application is to remove the existing dwelling and redevelopment of the site as a residential scheme providing 2, five bedroom family homes set over two floors with occupied roof spaces. As amended on 18/03/2022, 03/05/2022 and on 06/05/2022. | Approved 18 May 2022 |

4.0 Proposal and Design Approach

- 4.1 This is a full application for the demolition of an existing house and the erection of one detached 5 bed house and a pair of semi-detached 4 bed houses. The detached dwelling shall be referred to as House A and the semi-detached houses referred to as B and C.
- 4.2 House A would take on a traditional appearance, featuring as it does a broad hipped roof with gables of varying height to the principal elevation. Two small flat roof dormer windows would feature to the rear elevation. The dwelling would be maximum height of 9.4m accounting for the difference in ground level. The dwelling would be 15.2m in depth. Materials would be a mix of render to the rear and sides, whilst the principal elevation would be a mix of render and tile hanging with dark clay tiles to the roof. An integral garage would feature and an area of hardstanding for turning and parking to the front. There would be a private garden to the rear access from the house as well as a separate external access to the side. The footprint of the dwelling would be 4m from the west side boundary, with a gap of 4.6m with House B. The proposed garden would be approx. 11.5m in depth.
- 4.3 Houses B and C would also adopt a tradition appearance that would take the form of a larger single dwelling. A prominent pitched roof gable with catslide roof would feature to the principal elevation, which would be tile hung, with two small flat roof dormers to the front and rear elevations. The dwellings would be a maximum depth of 17.7m, and would be set further forward than House A. Again each house would have access to a private rear garden, with vehicle parking to the front. House C would have an attached single storey garage for a single vehicle. The footprint would be 3.7m from the shared side boundary (east) with the neighbouring property Highlands, which is at a lower ground level. The gardens would have a max. depth of 16.3m.
- 4.4 House A would have its' own vehicular access on to Waterhouse Lane, whilst Houses B and C would share a separate access. Replacement panting in the form of native trees and hedging would be set behind the widest point of the access. Additional new planting would feature throughout the site to supplement existing trees and trees/ landscaping removed from the site frontage.
- 4.5 It is proposed that the development be constructed in two phases, with House A being constructed separately to Houses B and C.
- 4.6 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
 - Involvement;
 - Evaluation;

- Design.

4.7 Evidence of the applicant’s design approach is set out below:

Assessment	A design and access statement has not been submitted that contains an assessment of the character of the area.
Involvement	It is not stated that community consultation took place.
Evaluation	It is not stated that other development proposals have been considered. The application follows a previous application for demolition of the existing dwelling and replacement with two dwellings, which was approved and the current proposals for would be similar in terms of visual appearance.
Design	The covering letter submitted in support of the application states that the footprint and design and House A is unchanged from the existing consent. The footprint and design of Houses B/C have followed the architecture of House B of the consented development, and largely replicates that appearance. Whilst the footprint is slightly deeper and very slightly wider, it remains well spaced from the adjoining neighbour and would not have any additional amenity impact.

4.8 Further details of the development are as follows:

Site area	0.18 Ha
Existing use	Residential (C3)
Proposed use	Residential (C3)
Existing parking spaces	2
Proposed parking spaces	6
Parking standard	DMP Accessibility Level - Medium 2 parking spaces required per dwelling, 6 required in total.
Number of affordable units	0
Net increase in dwellings	2

5.0 Policy Context

5.1 Designation

Urban area
Alcocks Lane and Waterhouse Lane RASC
Surface Water Flooding (Medium and Low)

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate & Banstead Development Management Plan 2019

Design, Character and Amenity (including housing)	DES1, DES2, DES4, DES5, DES6 DES8, DES9, DES10
Landscape & Nature Conservation	NHE3
Transport, Access and Parking	TAP1, TAP2
Climate Change Resilience and Flooding	CCF1, CCF2

5.4 Other Material Considerations

National Planning Policy Framework
2021

National Planning Practice Guidance

Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide Vehicle and Cycle Parking Guidance 2018 Householder Extensions and Alterations Affordable Housing
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Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010
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6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. Permission has been granted under 22/00047/F for two detached properties on the site, which is a material matter in consideration of the current application.

- 6.2 The acceptability of the proposal rests with considering whether the creation of three dwellings would be acceptable with regards to the design and the impact on the character of the street and wider RASC, impact on neighbouring properties, amenity for future occupiers, highway and parking matters, flooding and drainage, landscaping improvements and other material considerations.
- 6.3 The main issues to consider are:
- Design appraisal
 - Impact on Neighbouring amenity
 - Amenity for future occupiers
 - Highway matters
 - Trees and Landscaping
 - Ecology
 - Sustainability, Infrastructure and Climate Change
 - Affordable Housing
 - Community Infrastructure Levy
 - Other matters

Design appraisal

- 6.4 The site is located within Alcocks Lane and Waterhouse Lane Residential Area of Special Character (RASC). This area is characterised by large dwellings of mostly traditional design, though there is some variation in appearance, as dwellings in RASCs tend to be individually designed, with a predominance of soft landscaping cover, particularly to the front of the plot. Plot sizes are generally large, however there is some variance, particularly Thirlmere House and Derwent House to the west, which were granted consent in in 2013, and the four dwellings occupying Garden Farm Close to the north-west of the site which were granted in 2012, having smaller plot sizes.
- 6.5 Planning permission was granted under application 22/00047/F for the demolition of the existing dwelling and erection of two detached dwellings. House A as currently proposed would be identical to that already approved under the above application in terms of its design, scale, materials, plot size and spacing, therefore given that the dwelling has been deemed acceptable in this location, there is no objection to this element.
- 6.6 Turning to Houses B and C it is noted that this will result in the subdivision of the approved plot to form two dwellings. However the two houses would appear as one large dwelling that is very similar to that already approved under the previous application, with the width of the main dwelling increasing by 2m, with a decrease in the width of the attached garage. It is also noted that the size of the gable to the principal elevation has been reduced under the current submission. The semi-detached pair would share an open frontage meaning overall the scheme would appear as two large dwellings

within the context of the street, which would be similar to that of the extant scheme.

- 6.7 It is noted that the design would feature flat roof dormer windows. Whilst these would not wholly comply with the Councils' design guidance for dormers, they would be small and proportionate to the size of the dwellings. It is also noted that there are other examples of similar windows with the wider RASC, most notably Garden Farm Close to the north-west.
- 6.8 The proposal, whilst retaining a significant amount of soft landscaping, would be supplemented by additional planting, particularly along the front boundary, which will develop and grow over time, ensuring that the verdant character of the RASC and plot frontage is maintained.
- 6.9 On the basis of the above it is considered that the scheme would be an acceptable form of development within the RASC and would not be harmful to the character or street scene of the surrounding area. The scheme would therefore comply with Policies DES1, DES3 and NHE3 of the Reigate and Banstead Development Management Plan 2019 (DMP).

Neighbour amenity

- 6.10 The neighbour to the west at Thirlmere House is on higher ground than the proposed nearest house (house A), which would be set into the natural ground level. Although there would be a considerable addition of built-form alongside Thirlmere House, the impact would be diminished by the relative levels. The separation between the opposing flank elevations would be approximately 6.6m. Thirlmere House is arranged so that it has no main windows facing sideways towards Josil, and nor does it have front facing windows on the closest front projection. Consequently, there would be no harmful loss of light or outlook to any of the main amenity spaces at Thirlmere House. Furthermore, there is an existing belt of trees on the Thirlmere House side of the boundary which provide good screening. The proposed house would feature a side facing bathroom window; however this could be conditioned to be obscure glazed to ensure there would be no loss of privacy to Thirlmere House. Whilst noting that dormer windows would feature to the rear elevation, these would not result in significant opportunity for overlooking given the level of boundary screening along the shared boundary.
- 6.11 Houses B and C House B would be sited in closest proximity to the neighbouring property Hylands to the east. Hylands is positioned at a lower ground level to the application site and would be separated from the proposed dwelling by a detached single storey garage. House C would feature a single storey attached garage approx. 3.5m from the shared boundary. The main bulk of the proposed dwelling would be 6.6m from the boundary extending approx. 13m in to the rear. This would be an acceptable level of distance to avoid being overbearing in nature. Whilst the new dwelling would result in a degree of change in the relationship between the two properties, it is not the view that there would be undue harm to the amenity of the neighbour in this case.

- 6.12 There would be a sufficient level of separation (in excess of 40m) between the proposed dwellings and the rear of Long Orchards, a flatted development to the north of the site. An existing belt of trees along the rear would largely be retained providing an element of screening between the two sites.
- 6.13 Taking in to account the above the proposed development would have an acceptable level of impact on the amenity of neighbouring properties and would comply with Policy DES1 in this regard.

Amenity for future occupiers

- 6.14 It is a fundamental objective of planning policy and stated within the National Planning Policy Framework 2021 that we provide high quality housing that is well designed and built to a high standard. The advice is amplified further by policies DES2 and DES5 of the Development Management Plan, which requires developments to demonstrate that dwellings have been designed to ensure that a good standard of amenity for all existing and future occupants and meet the minimum relevant nationally described space standards and be arranged to ensure that habitable rooms are arranged to have an acceptable outlook and where possible receive direct sunlight. Policy DES2 requires developments to be designed to ensure a good standard of amenity for all existing and future occupants.
- 6.15 Each dwelling would be two storeys in height providing either 4 bedroom (max 124 sqm required) or five bedrooms (max 128sqm required). The proposed dwellings would exceed the requirements of the National Space Standards. The rooms would be laid out in such a way as to ensure that each would be well served by a window providing sufficient light and acceptable outlook. Rooms would be of a large size and the overall layout would allow for ease of movement throughout the house. The area is of a quiet residential character ensuring that there would not be significant disturbance of future occupiers by external noise. The garden to the rear of each dwelling would be of a good size, which would be reflective of other dwellings and developments within the RASC. It is considered that the proposed dwelling would comply with the requirements of policy DES5 of the Development Management Plan 2019 and National Standards for living space.
- 6.16 In light of the above considerations the proposed dwellings are considered to provide an appropriate living environment for future occupants, in line with Nationally Described Space Standards and the requirements of Policies DES2 and DES5 of the DMP.

Highway Matters

- 6.17 The application site is located within an area of medium accessibility. Both a 4 and 5 bedroom dwelling in this location would be required to provide 2

parking spaces. On this basis a total of 6 spaces would be required, 2 per dwelling. Houses A and C would be provided with a garage. Whilst the garage for house C would not meet the minimum size standard for a garage as contained within Annex 4 of the DMP, there would be ample space in front of the dwelling to accommodate 2 spaces. All the proposed houses would meet the required parking standard. The proposal would therefore comply with Policy TAP1 in this regard.

- 6.18 The Highway Authority has reviewed the application and has raised no objection subject to conditions requiring the provision of visibility splays, the closure of the existing access, the provision of parking in accordance with the submitted plans, the carrying out of the development in accordance with the submitted construction transport management plan, and the provision of electric vehicle charging points for each dwelling.
- 6.19 Considering the above, the proposal would be acceptable with regards to parking provision, and it is not the view that the scheme would give rise to harm to the safe operation of the highway or result in unacceptable on-street parking. The scheme would therefore comply with Policy TAP1 of the DMP.

Trees and Landscaping

- 6.20 There are no protected trees within the site, however it is noted that there is some mature vegetation along the front, side, and rear boundaries. It is proposed to remove a number of trees to the front and rear boundaries, including the mature Oak to the south-east corner of the site and a Corsican Pine to the front boundary. Both trees are reported as being in poor health, with limited life remaining. In order to compensate for the proposed tree removal it is proposed to incorporate replacement planting. The proposals submitted consist of a mixture of native species to the front boundary, with existing vegetation to the rear and side boundaries supplemented by new planting including orchard trees in the rear garden. Wildflower meadow and shrub planting would feature to the front. The variety and quantity of planting would be acceptable and provide an appropriate balance between soft landscaping and built form that would be appropriate within the RASC.
- 6.21 In view of the above the scheme is considered to be acceptable with regard to arboricultural matters and would comply with Policies NHE3 and DES3 of the DMP 2019.

Ecology

- 6.22 Policy NHE2 of the DMP requires that throughout the borough development proposals will be expected to retain and enhance other valued priority habitats and features of biodiversity importance and be designed, wherever possible, to achieve a net gain in biodiversity. Where a development will impact on a priority habitat or species, or protected species, and mitigation cannot be provided on site in an effective manner, developers may be required to offset the loss by contributing to appropriate biodiversity projects elsewhere, in a location agreed with the Council.

- 6.23 A preliminary ecology appraisal has been submitted in support of the application. Initial comments the potential for buildings on site to host active bat roosts. The report identified buildings with bat roosting suitability. Development as proposed at this site is expected to result in loss or disturbance to any active bat roosts and bats present, and so may be contrary to the above referenced legislation. The appraisal has been reviewed by Surrey Wildlife Trust (SWT) who recommended further presence/likely absence surveys were required. The report also identifies a number of trees (T1, T2, T3, T5 and G7) which have the potential to host roosting bats. These trees have not been assessed therefore it cannot be determined whether the scheme would have detrimental impact on roosting bats at the site. On this basis it was advised that roost assessments of trees should be carried out prior to determination of the application.
- 6.24 In response, the applicant confirmed that the required surveys had been carried out and were subsequently submitted for further review by SWT, who comment that the above referenced report appears appropriate in scope and methodology and has identified the likely absence of active bat roosts within the development site. It was therefore advised that bats do not appear to present a constraint to the proposed development. SWT advise that any works proceed in a precautionary manner, which will be emphasised within an informative. Additional informatives in relation to sensitive lighting, birds and biodiversity enhancements will also be included.
- 6.25 The scheme is considered acceptable with regard to biodiversity and impact on ecology and would therefore comply with Policy NHE2 of the DMP.

Sustainability, infrastructure and climate change

- 6.26 Policy CCF1 of the Councils Development Management Plan 2019 seeks to ensure that all new development contributes to reducing carbon emissions. New development will be encouraged to incorporate passive and active energy efficiency measure and climate change resilience measures and renewable energy technologies. In order that the proposed development contributes to achieving these aims, in the event that planning permission were to be granted, conditions requiring demonstration that it will meet the national water efficiency standard of 110litres/person/day. A further condition requiring the provision of broadband connection, in accordance with Policy INF3 of the DMP 2019, would also be attached to any grant of planning permission.

Affordable Housing

- 6.27 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from

developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.

- 6.28 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case

Community Infrastructure Levy (CIL)

- 6.29 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although, the exact amount would be determined and collected after the grant of planning permission.

Other Issues

- 6.30 With regard to objections made on the grounds of increased noise and disturbance resulting from the development, it is not considered that the development of three dwellings would result in a substantial level of noise that would be untypical of a residential area. Statutory noise legislation is in place to deal with any unacceptable levels of noise disturbance.
- 6.31 Objection has also been raised on the grounds that the development would result in the loss of private view. This is not a material planning consideration that can be taken into account in the assessment of a planning application.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Received
Site Layout Plan	22.073.001		17.01.2023
Floor Plan	22.073.002		17.01.2023

Floor Plan	22.073.003		17.01.2023
Elevation Plan	22.073.004		17.01.2023
Elevation Plan	22.073.005		17.01.2023
Section Plan	22.073.006		17.01.2023
Site Layout Plan	22.073.100		17.01.2023
Floor Plan	22.073.101		17.01.2023
Floor Plan	22.073.103		17.01.2023
Elevation Plan	22.073.110		17.01.2023
Elevation Plan	22.073.111		17.01.2023
Section Plan	22.073.120		17.01.2023
Section Plan	22.073.121		17.01.2023
Street Scene	22.073.130		17.01.2023
Elevation Plan	22.073.113A		17.01.2023
Elevation Plan	22.073.112A		17.01.2023
Floor Plan	22.073.101A		03.02.2023
Site Layout Plan	22.073.100A		03.02.2023
Landscaping Plan	986-L-02		28.12.2022
Landscaping Plan	986-L-01	B	
Location Plan	00201		28.12.2022
Phasing Plan	22.073.000A		08.06.2022

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

- The materials to be used in the construction of the external surfaces of the development shall be constructed in accordance with the materials as specified within the application and there shall be no variation without prior approval and agreement in writing with the Local Planning Authority.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

- No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan compiled by SouthOaks Arboricultural Consultancy, dated 22nd December 2022.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies NHE3, DES1 and DES3 and the recommendations within British Standard 5837:2012 Trees in relation to design, demolition and construction.

- Notwithstanding the submitted plan numbered 2022/6985/001 Rev P1 no part of the development shall be occupied unless and until the proposed vehicular

accesses to Waterhouse Lane have been constructed and provided with a means at the back edge of the highway of preventing private water from entering the highway and sight lines of 43 metres to the north to a point no more than 0.5 metre into the carriageway edge from the nearside carriageway edge and sight lines of 43 metres to the middle of the carriageway to the south from a point 2.4 metres back into the accesses from the nearside carriageway edge in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter the visibility zones shall be kept permanently clear of any obstruction over 0.6 metres.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

6. Prior to the occupation of either phase 1 or phase 2 the existing access to the site shall be closed and the verge reinstated.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan 2019.

7. The relevant phase of the development hereby approved shall not be first occupied unless and until space has been laid out within that phase of the site in accordance with the approved plans numbered 986 L 01 Rev B and 986 L 01 for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the turning areas shall be retained and maintained for their designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy TAP1 Parking, access , and Servicing of the Reigate and Banstead Local Plan Development Management Plan 2019.

8. The development of either phase shall only be implemented in full accordance with the provisions set out within the approved Construction Traffic Management Plan (Ref6985/CTMP02) by RGP, dated March 2023.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan 2019.

9. The development of each phase hereby approved shall not be occupied unless and until the proposed dwelling of that phase is provided with a fast charge

socket (current minimum requirement: 7kw Mode 3 with Type 2 connector - 230 v AC 32 amp single phase dedicated supply) in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority and thereafter retained and maintained for their designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2021 and Policy CS17 (Travel Options and Accessibility).

10. The development shall be carried out in accordance with the mitigation measures set out within section 7 of the Preliminary Ecology Appraisal prepared by Ecology and Land Management (dated December 2022).

Reason: To ensure that any potential impact to protected species is adequately mitigated in accordance with the provisions of the National Planning Policy Framework and policy NHE2 of the Development Management Plan 2019.

11. The first floor windows in the east and west side elevations of House A of the development hereby permitted shall be glazed with obscured glass and shall be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

12. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:

Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day.

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

13. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:

- a) A broadband connection accessed directly from the nearest exchange or cabinet,
- b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that the Council will expect the following measures to be included in the above CMS condition to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may

require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

5. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
6. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
7. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
8. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
9. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service
10. The applicant is expected to ensure the safe operation of all construction traffic in order to prevent unnecessary disturbance obstruction and inconvenience to other highway users. Care should be taken to ensure that the waiting, parking, loading and unloading of construction vehicles does not hinder the free flow of any carriageway, footway, bridleway, footpath, cycle route, right of way or private driveway or entrance. Where repeated problems occur the Highway Authority may use available powers under the terms of the Highways Act 1980 to ensure the safe operation of the highway.
14. Biodiversity enhancements – with regard to condition 8 the Council expects the applicant to provide an appropriately detailed document to demonstrate that a measurable net gain (not just compensation), secure for the life time of the development, is achievable. The applicant may wish to use an

appropriate metric such as the DEFRA Biodiversity Metric 2.0 to demonstrate how the site will provide biodiversity net gain. If net gain cannot be met this must be fully justified.

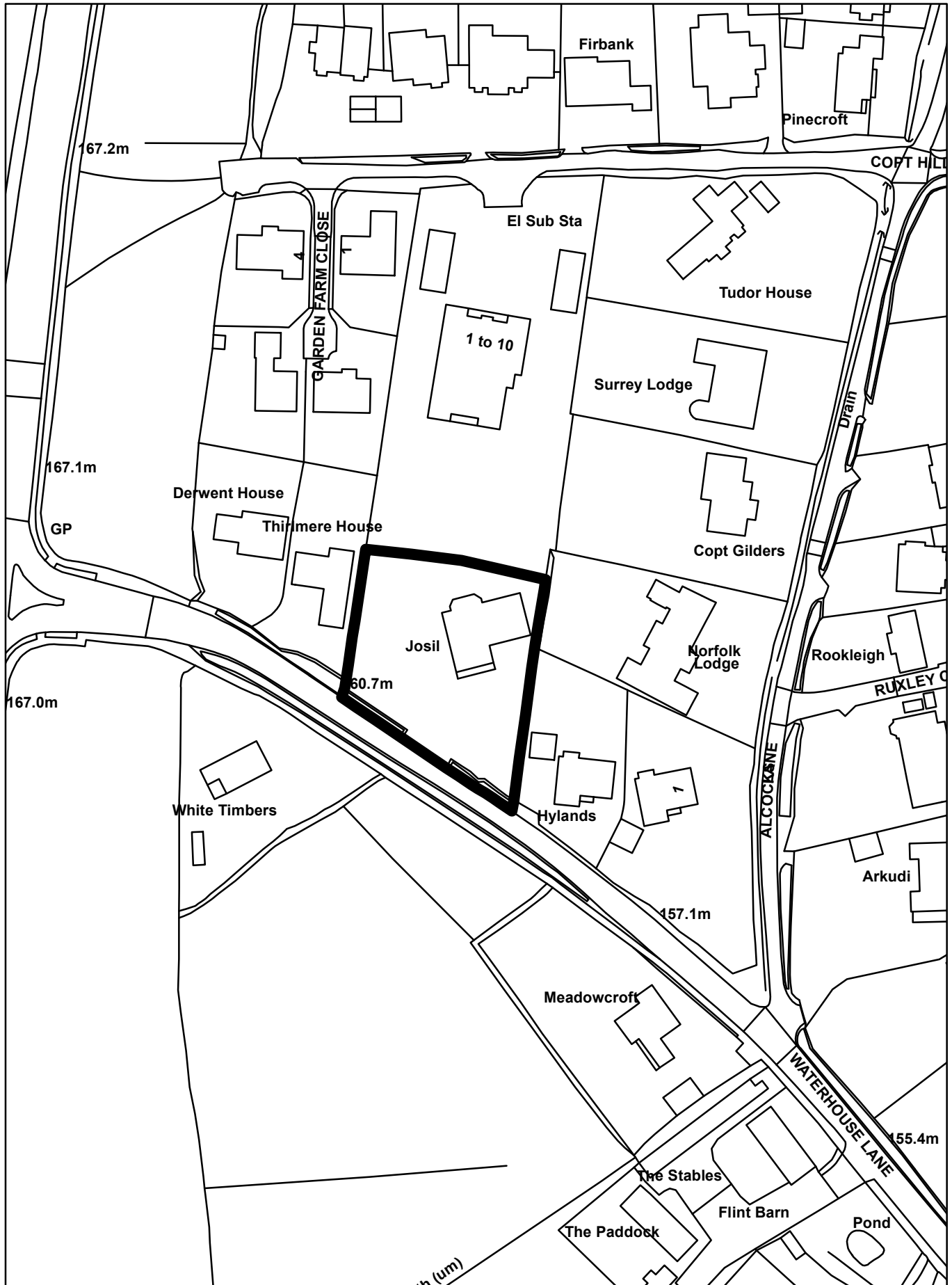
15. Works affecting any of the features identified as potentially suitable for roosting bats should be undertaken carefully and by hand, to ensure that if any bats are sheltering beneath them they will not be harmed. If a bat or evidence of bats is seen work should cease immediately and advice sought from Natural England or a qualified specialist.
16. A net increase in external artificial lighting should be avoided and where lighting is required this should be designed sensitively. In order to comply with above-referenced legislation, any external lighting installed on this development should comply with the recommendations of Section 5.2.8 of the above referenced 'Preliminary Ecological Appraisal' and the Bat Conservation Trusts' document entitled 'Bats and Lighting in the UK - Bats and the Built Environment Series'.
17. The Council is encouraging the developer to incorporate planting and measures to encourage biodiversity and wildlife and allow wildlife to move into and out of gardens and, in particular, include Hedgehog friendly gravel boards where appropriate. Details of the 'wildlife friendly' measures should be provided with the submission of the details for approval.

REASON FOR PERMISSION

The development hereby permitted has been assessed against the NPPF 2021 and Development Management Plan policies DES1, DES2, DES5, DES8, DES9, NHE3, NHE9, TAP1, CCF1, CCF2, INF3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

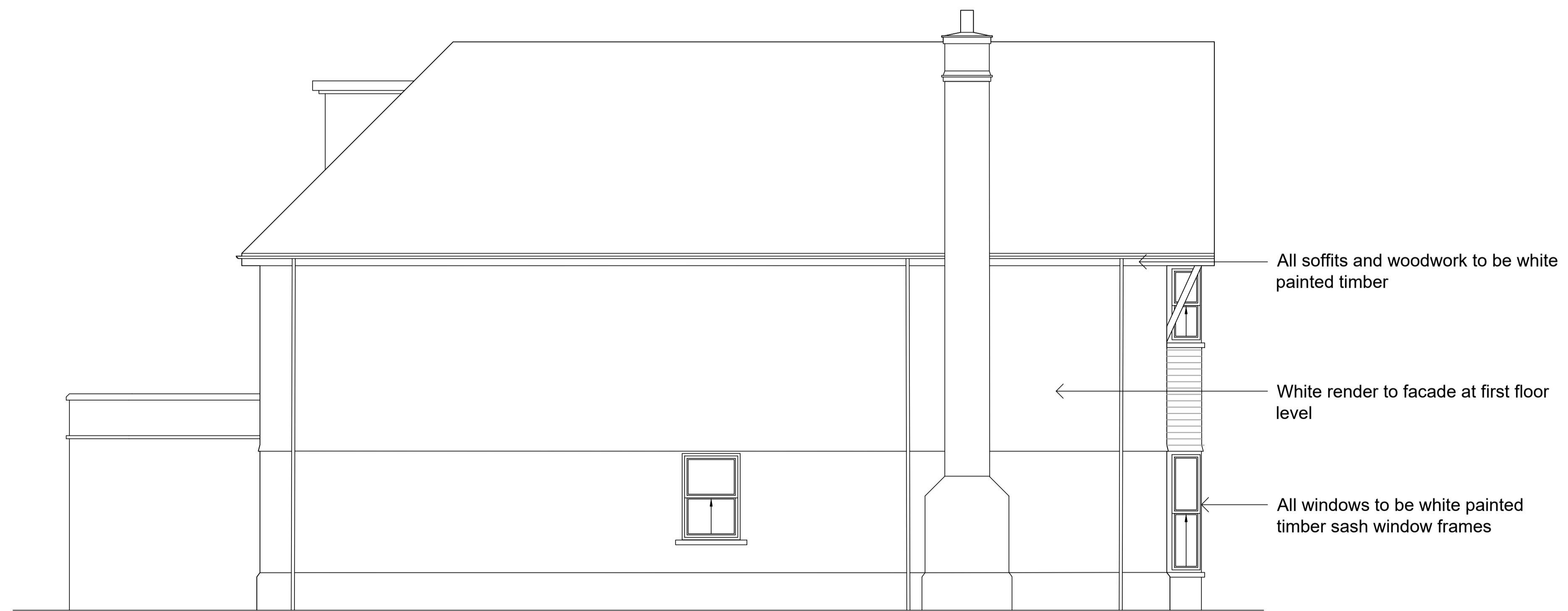
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

22/02835/F - Josil, Waterhouse Lane, Kingswood





Proposed East Elevation



Proposed West Elevation

Planning

<p>NOTES NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR 1:50 @ A1	
DRAWING TITLE	House B and C Proposed Elevations East and West	
DWG NO.	DRAWN:	DATE:
22.073.113A	SH CHECKED: KH	NOV 22



Proposed North Elevation



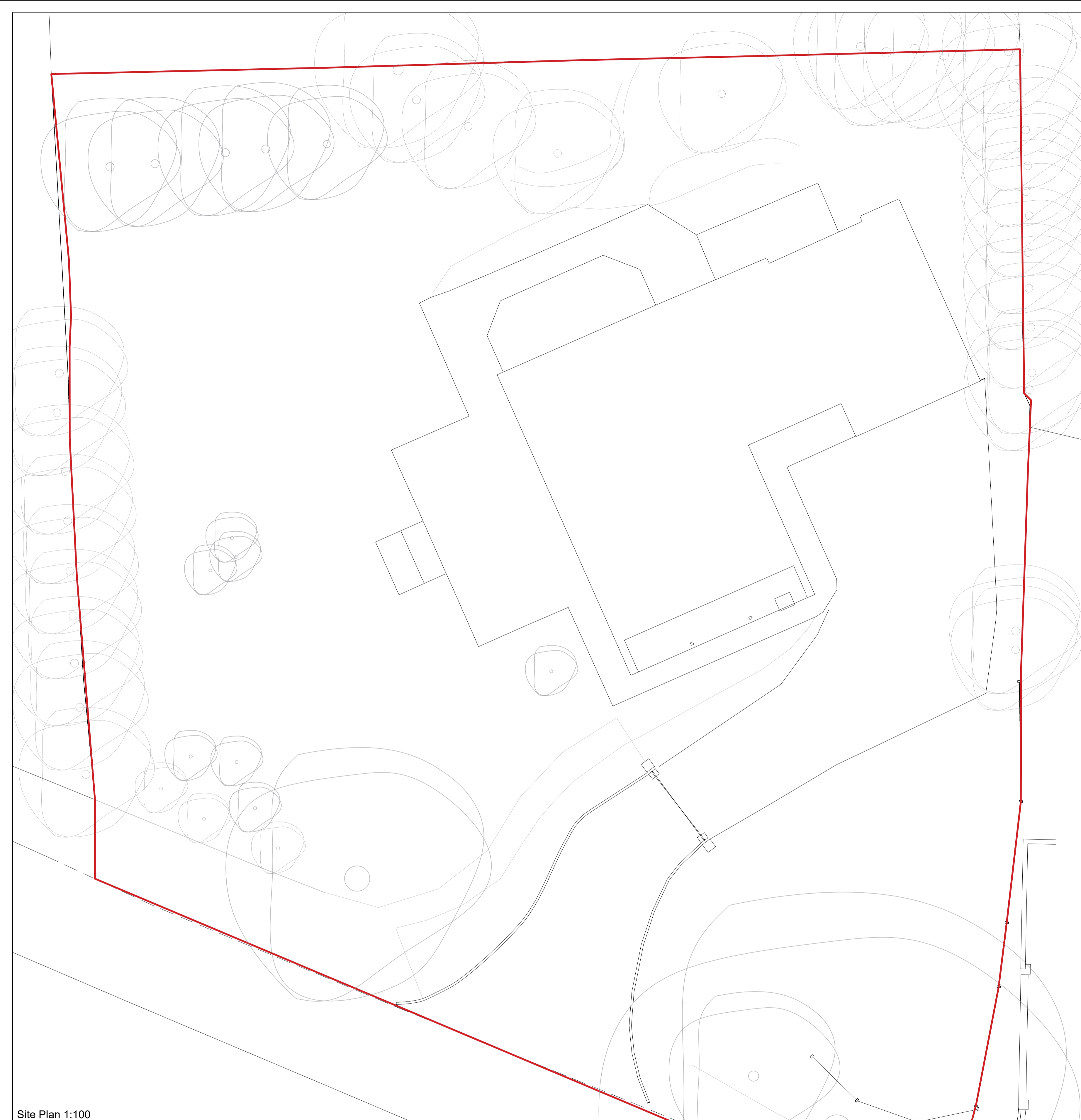
Proposed South Elevation

Planning

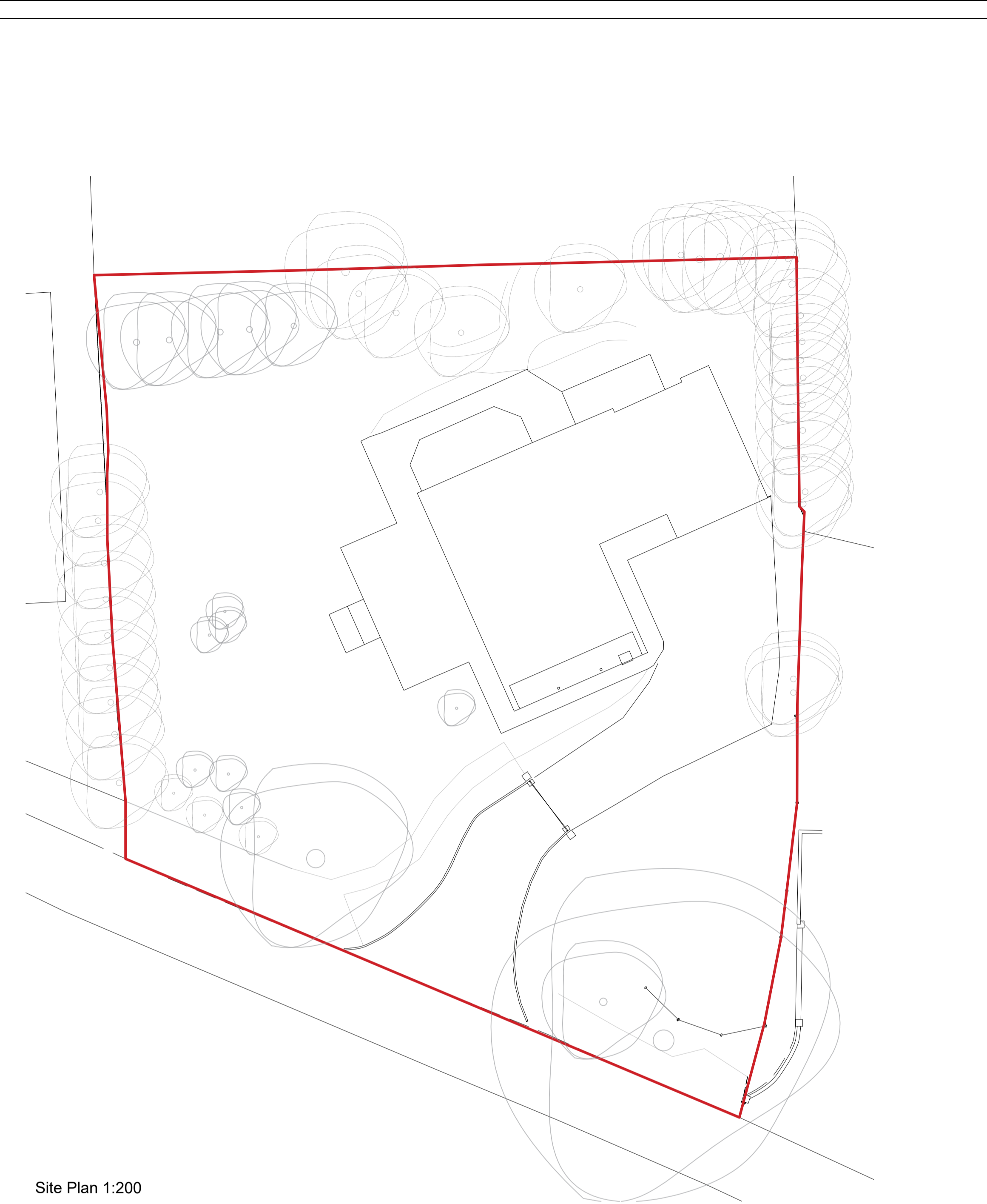
<p>NOTES</p> <p>NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p>REVISIONS</p> <p>Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	1:50 @ A1	SCALE BAR 0.5m 1m
DRAWING TITLE	House B and C Proposed Elevations North and South	
DWG NO.	DRAWN: SH	DATE: NOV 22
22.073.112A	CHECKED: KH	



Site Plan 1:100



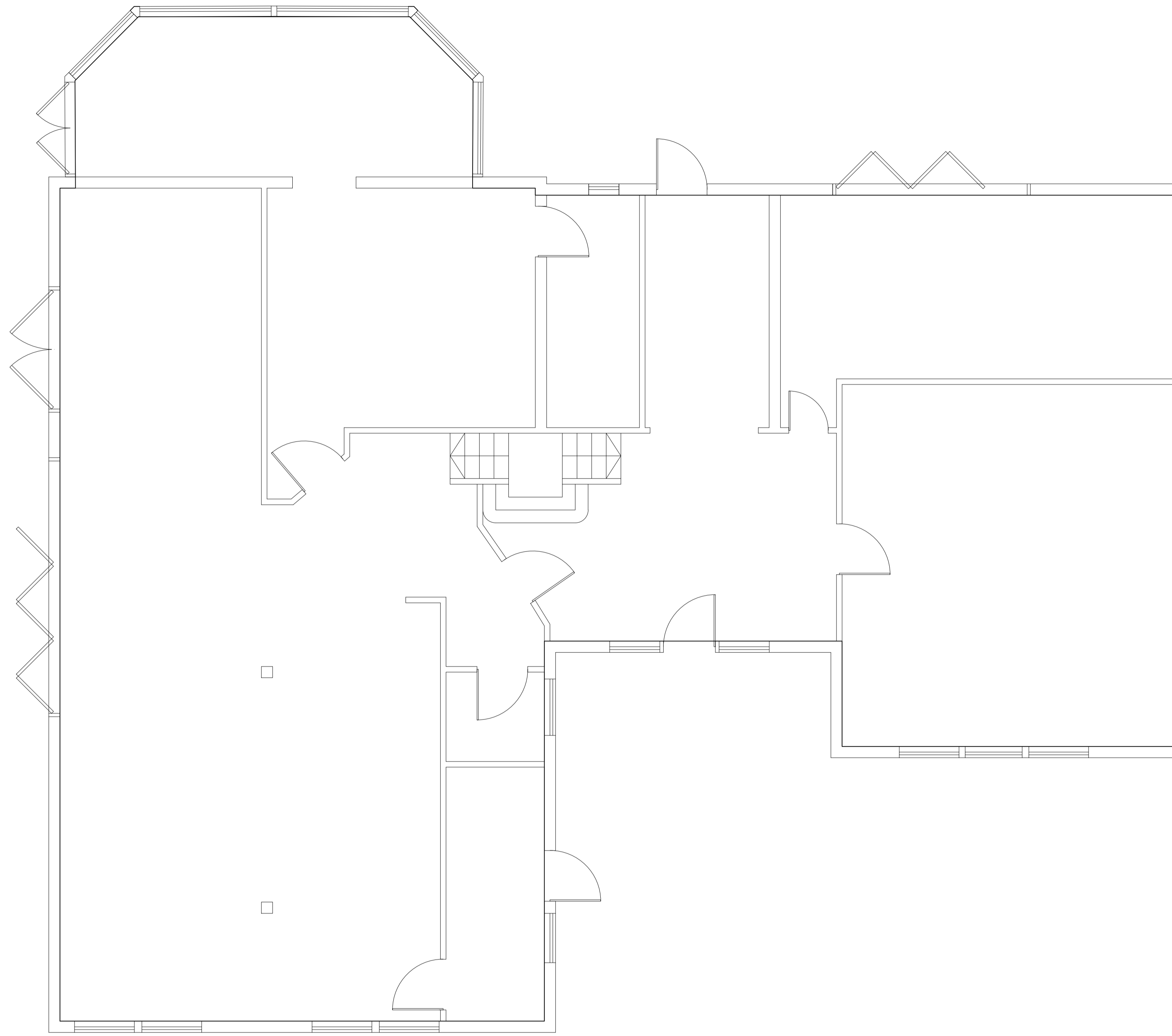
Site Plan 1:200

Planning

<p>NOTES NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>Rev -</th> <th></th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	Rev -			
Rev -					
<p>KEY</p> <p>Site Boundary ———</p>					

Harp & Harp Ltd.

CLIENT	Macar Developments							
ADDRESS	Josil, Waterhouse Lane, Kingswood							
SCALE	<table border="1"> <tr> <th>SCALE BAR</th> <th></th> </tr> <tr> <td>1:100 @ A1</td> <td></td> </tr> <tr> <td>1:200 @ A1</td> <td></td> </tr> </table>		SCALE BAR		1:100 @ A1		1:200 @ A1	
SCALE BAR								
1:100 @ A1								
1:200 @ A1								
DRAWING TITLE	Existing Site Plan							
DWG NO.	DRAWN:	DATE:						
22.073.001	SH	NOV 22						
	CHECKED:							
	KH							




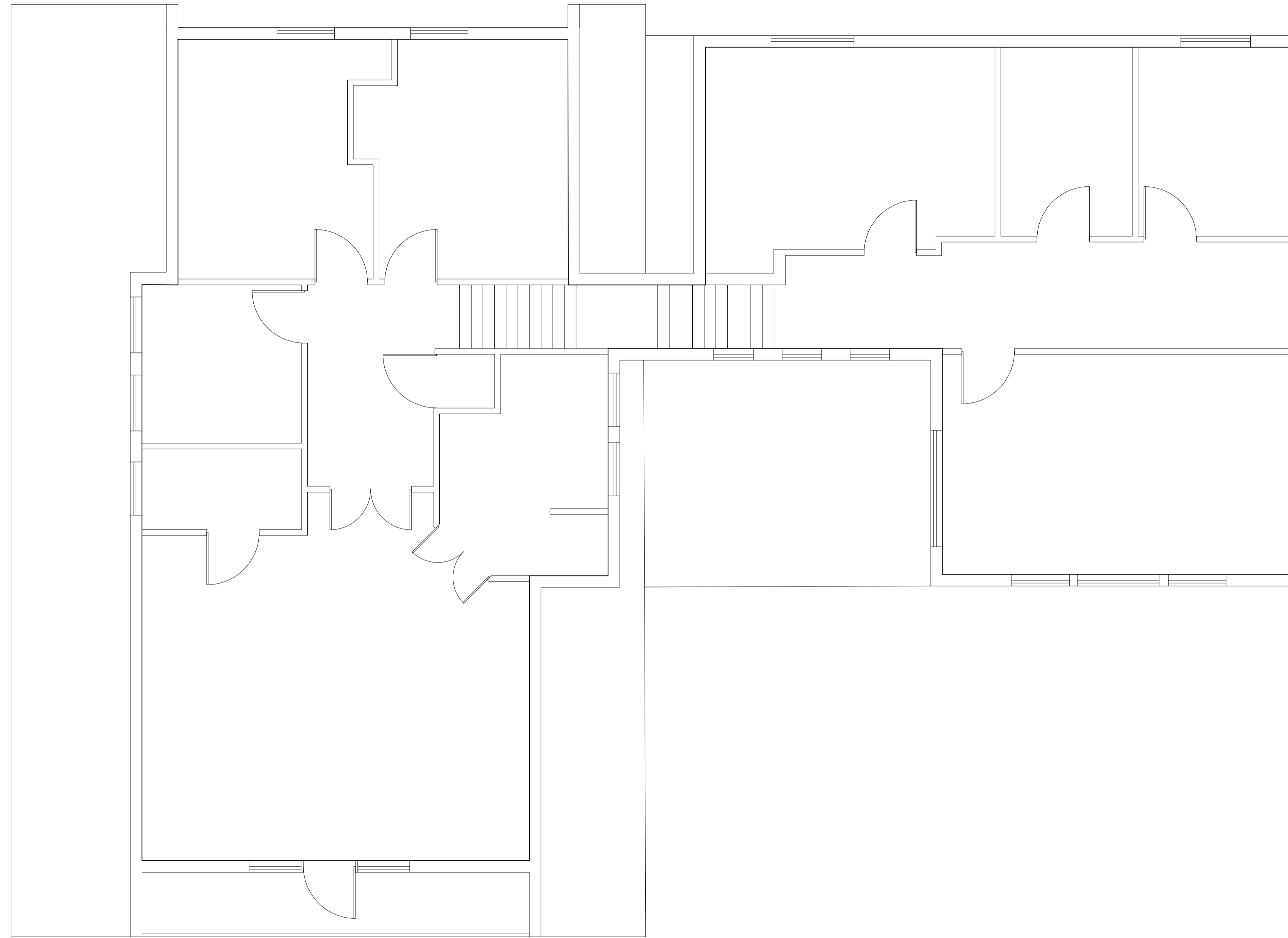
Existing Ground Floor Plan

Planning

<p>NOTES</p> <p>NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS</p> <p>Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
DRAWING TITLE	Existing Ground Floor Plan	
DWG NO. 22.073.002	DRAWN: SH CHECKED: KH	DATE: NOV 22



Existing First Floor Plan

Planning

<p>NOTES</p> <p>NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site</p>	<p>REVISIONS</p> <p>Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
DRAWING TITLE	Existing First Floor Plan	
DWG NO. 22.073.003	DRAWN: SH CHECKED: KH	DATE: NOV 22



Proposed South Elevation




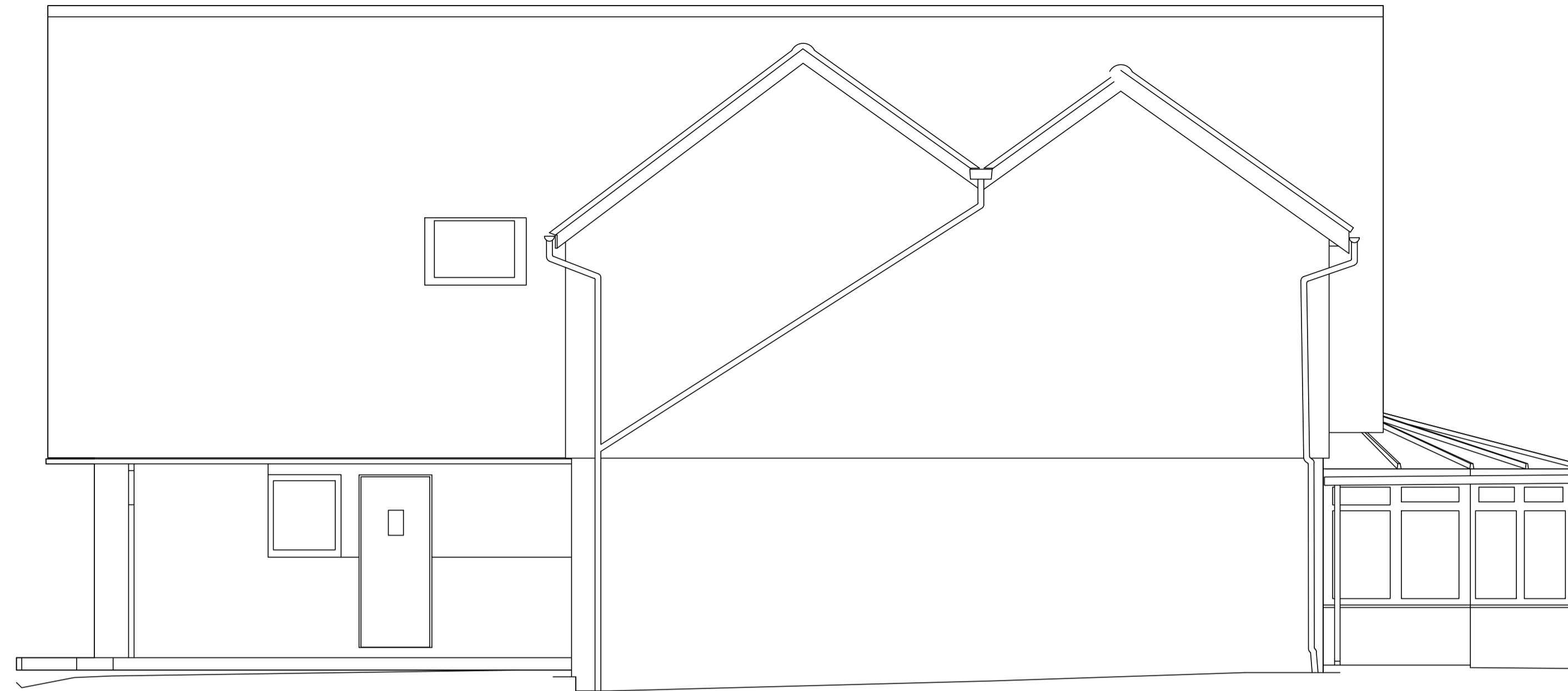
Proposed North Elevation

Planning

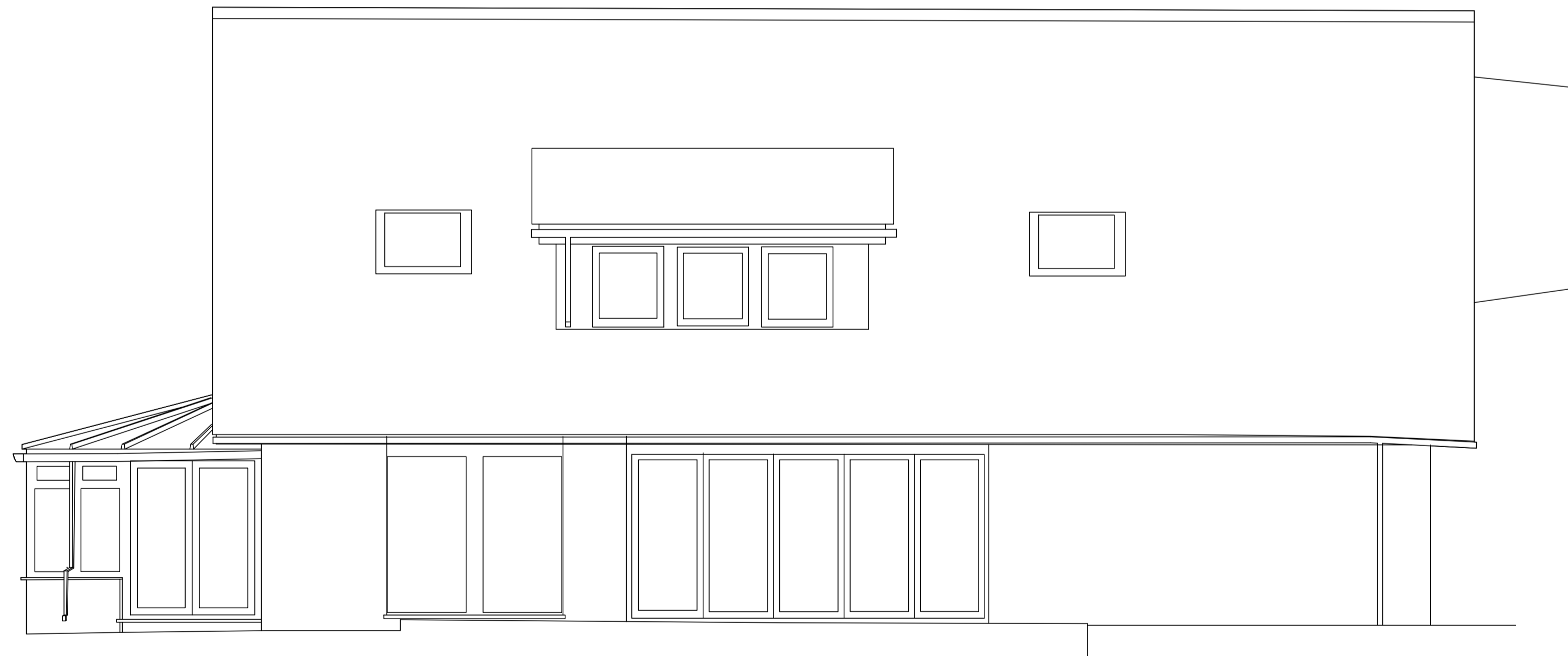
<p>NOTES NOT FOR CONSTRUCTION Do not scale from this drawing All dimensions to be taken from site Inaccuracies should be reported to the designer All drawings show design intent only. All details to be discussed and agreed on site.</p>	<p>REVISIONS Rev -</p>
<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	<p>SCALE BAR</p> 	
DRAWING TITLE	Existing House Elevations North and South	
DWG NO. 22.073.004	DRAWN: SH CHECKED: KH	DATE: NOV 22



Proposed East Elevation

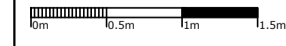


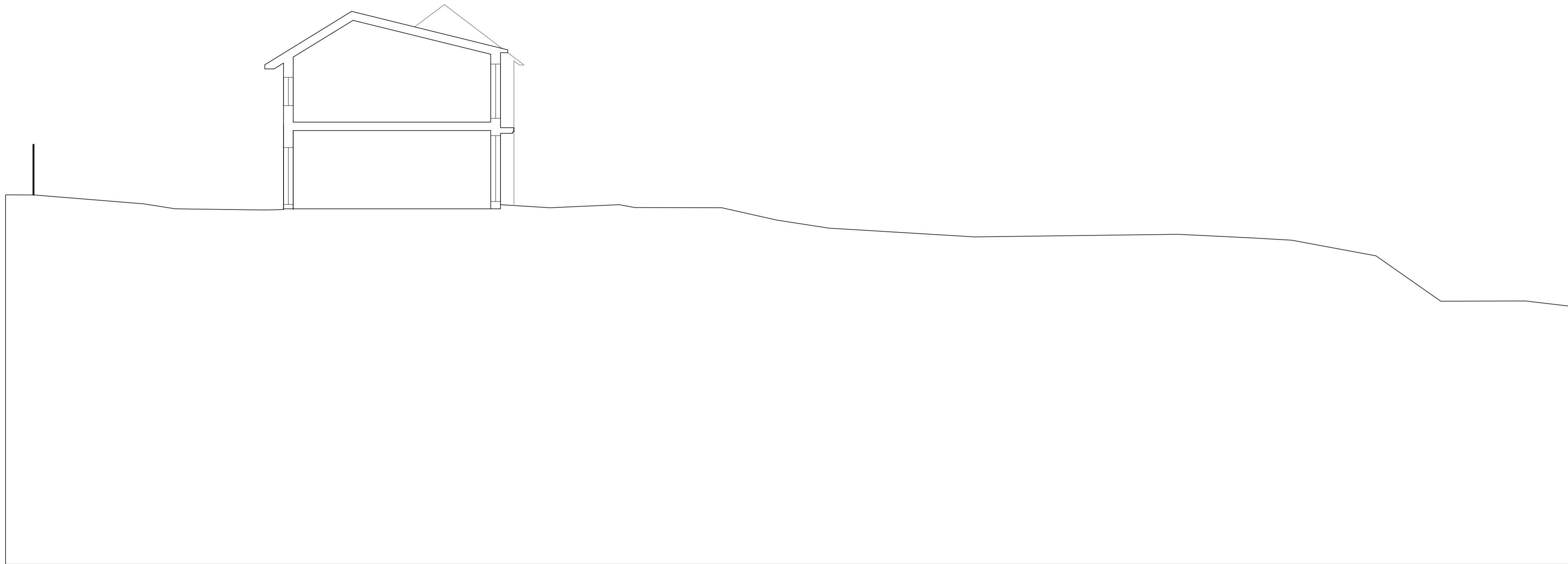
Proposed West Elevation

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	<p>SCALE BAR</p> 	
DRAWING TITLE	Existing House Elevations East and West	
DWG NO. 22.073.005	DRAWN: SH CHECKED: KH	DATE: NOV 22



Existing Section A-A



Existing Section B-B

Planning

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<p>KEY</p>	<p>Key Plan</p>

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
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DRAWING	TITLE	
	Existing Sections	
DWG NO.	DRAWN:	DATE:
22.073.006	SH	NOV 22
	CHECKED:	
	KH	



Site Plan 1:200

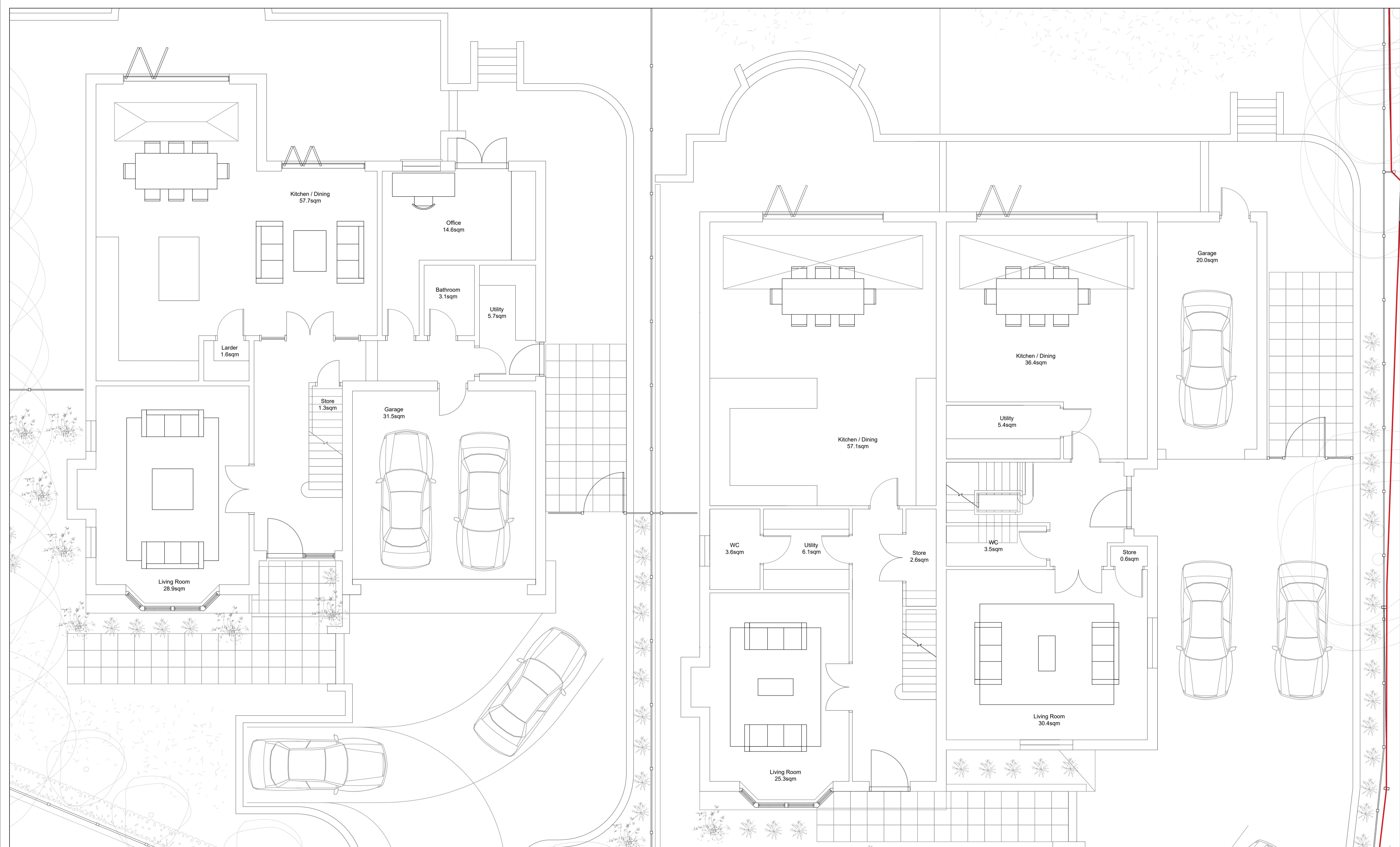
Site Plan 1:100

Planning

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<p>KEY Site Boundary ———</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	1:100 @ A1	SCALE BAR
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TITLE	Site Plan	
DWG NO.	DRAWN:	DATE:
22.073.100	SH CHECKED: KH	NOV 22

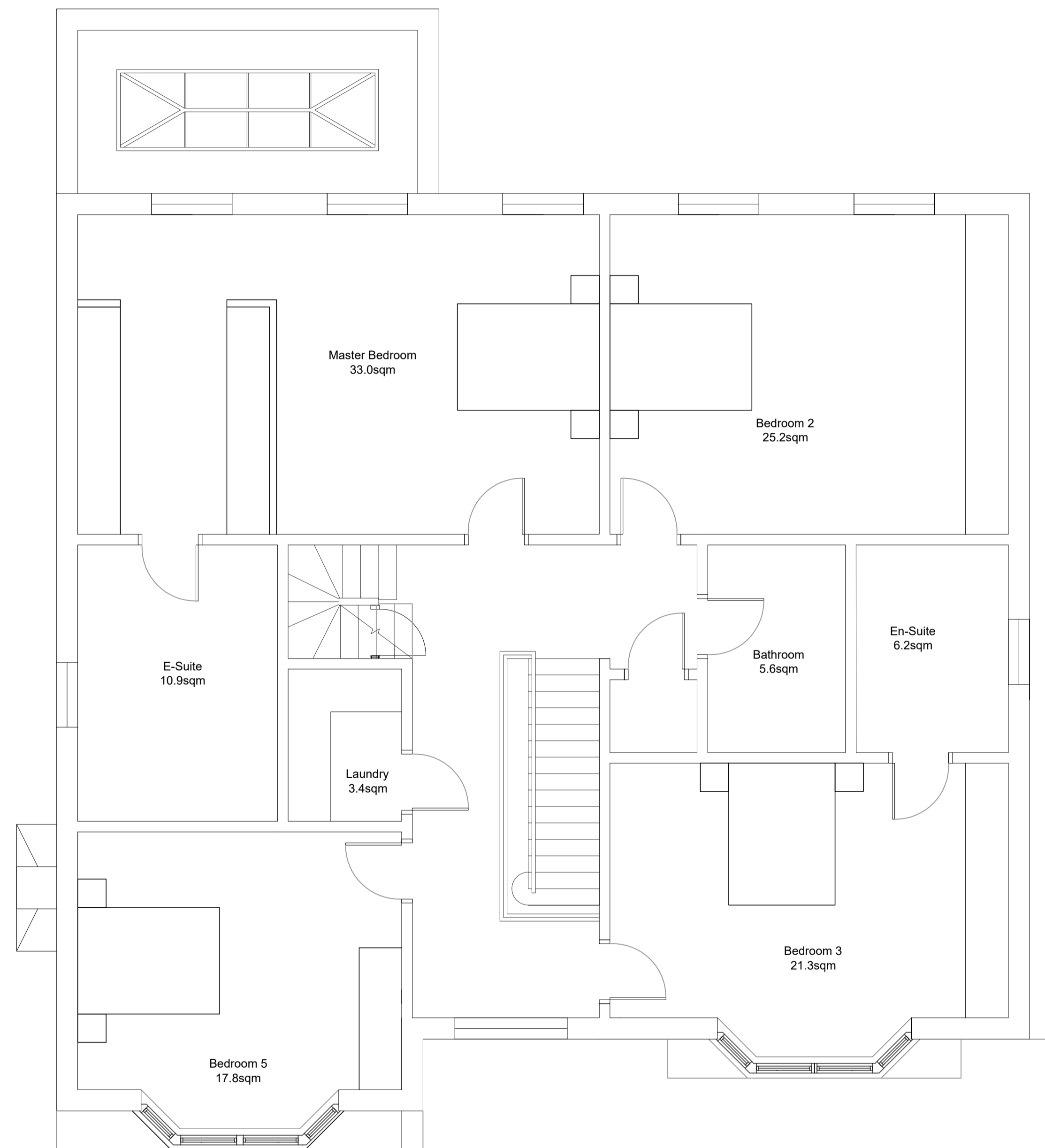


Planning

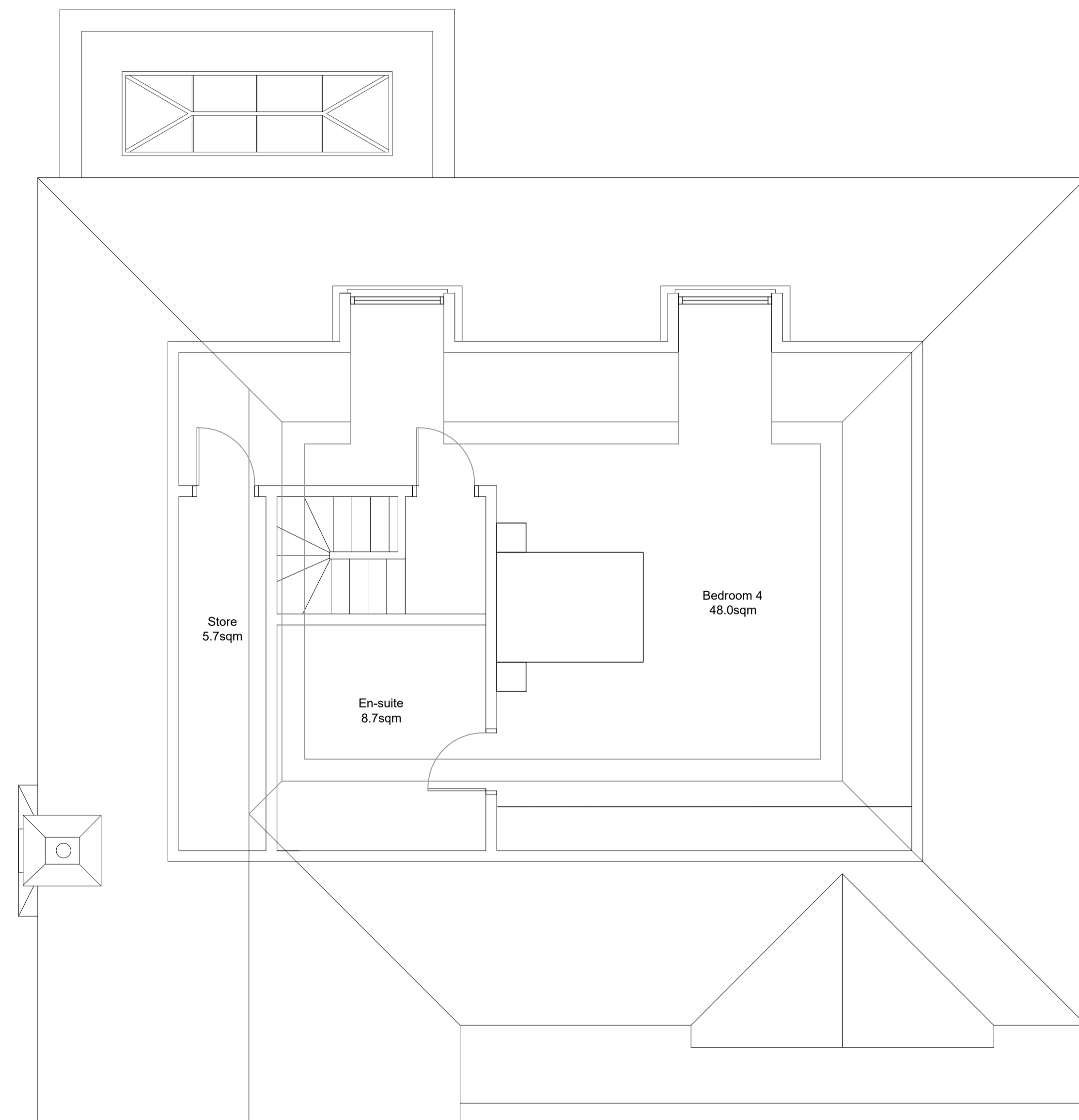
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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments
ADDRESS	Josil, Waterhouse Lane, Kingswood
SCALE 1:50 @ A1	<p>SCALE BAR</p>
DRAWING TITLE	House A, B and C Ground Floor Plan
DWG NO. 22.073.101	<p>DRAWN: SH</p> <p>CHECKED: KH</p>
DATE: NOV 22	



Proposed First Floor Plan



Proposed Second Floor Plan

Planning

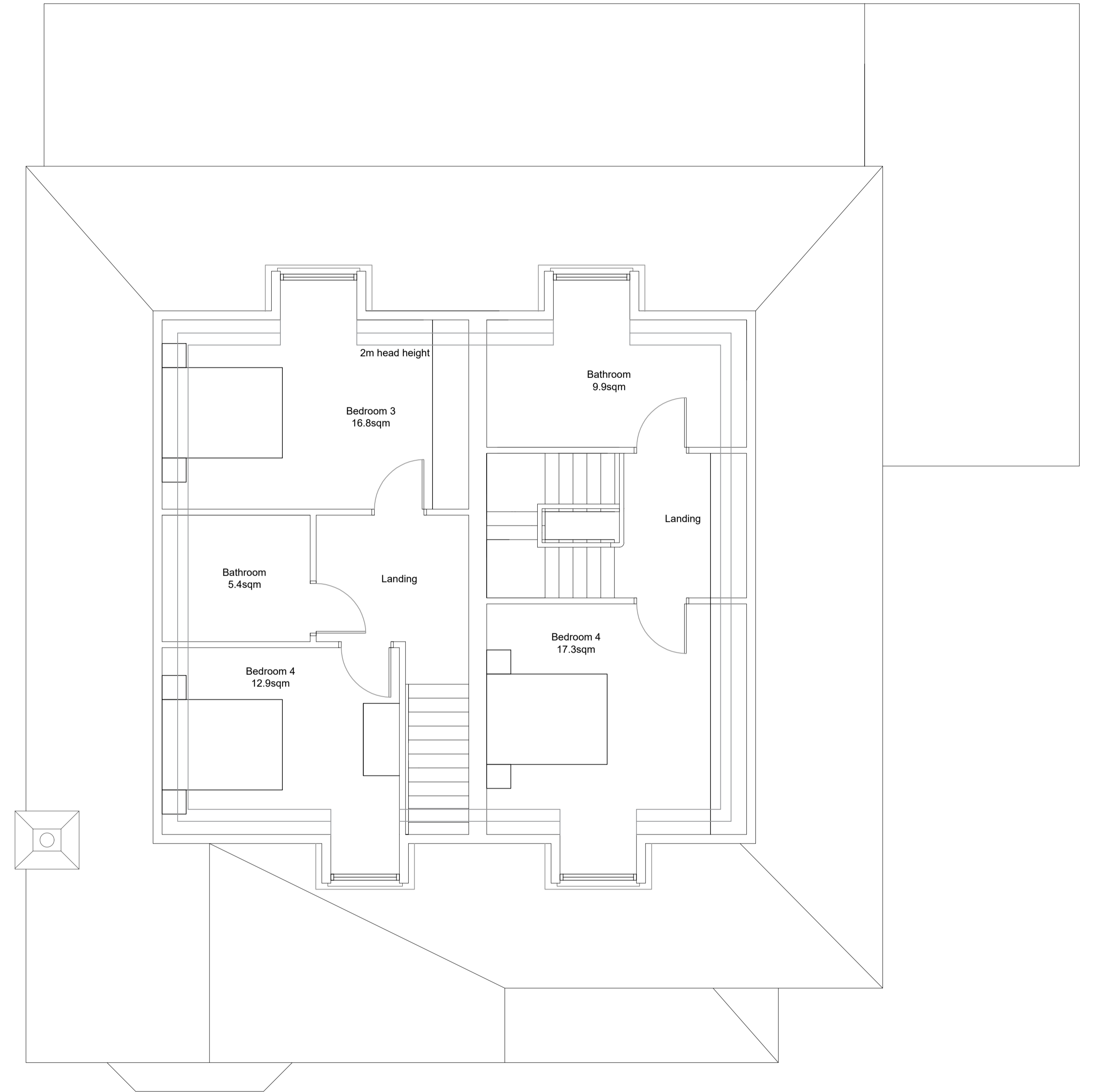
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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE	House A First and Second Floor Plans	
DWG NO.	DRAWN:	DATE:
22.073.102	SH	NOV 22
	CHECKED:.	
	KH	



Proposed First Floor Plan



Proposed Second Floor Plan

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
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DRAWING TITLE	House B and C First and Second Floor Plans	
DWG NO.	DRAWN:	DATE:
22.073.103	SH CHECKED: KH	NOV 22



Proposed South Elevation



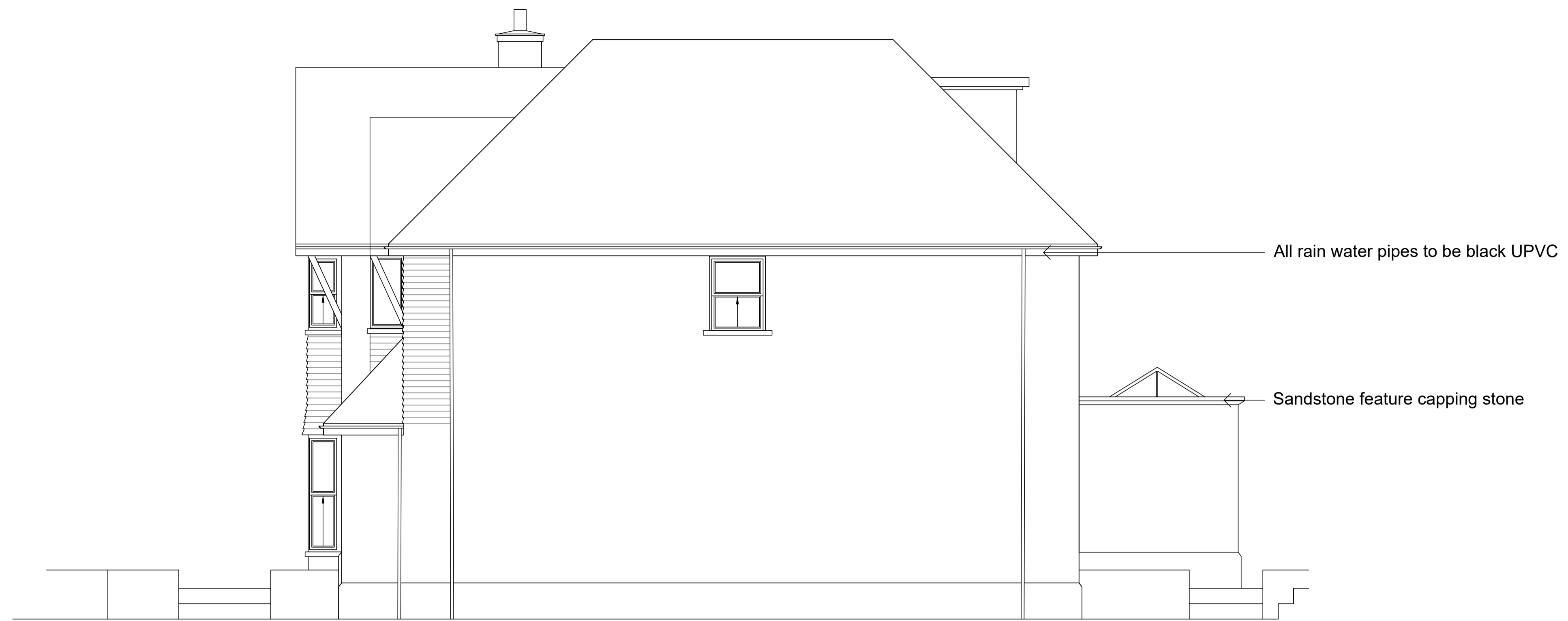
Proposed North Elevation

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR 1:50 @ A1	
DRAWING TITLE	House A Elevations North and South	
DWG NO.	DRAWN:	DATE:
22.073.110	SH CHECKED: KH	NOV 22



Proposed East Elevation

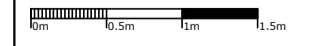


Proposed West Elevation

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	<p>SCALE BAR</p> 	
DRAWING TITLE	House A Elevations East and West	
DWG NO. 22.073.111	DRAWN: SH CHECKED: KH	DATE: NOV 22



Proposed North Elevation



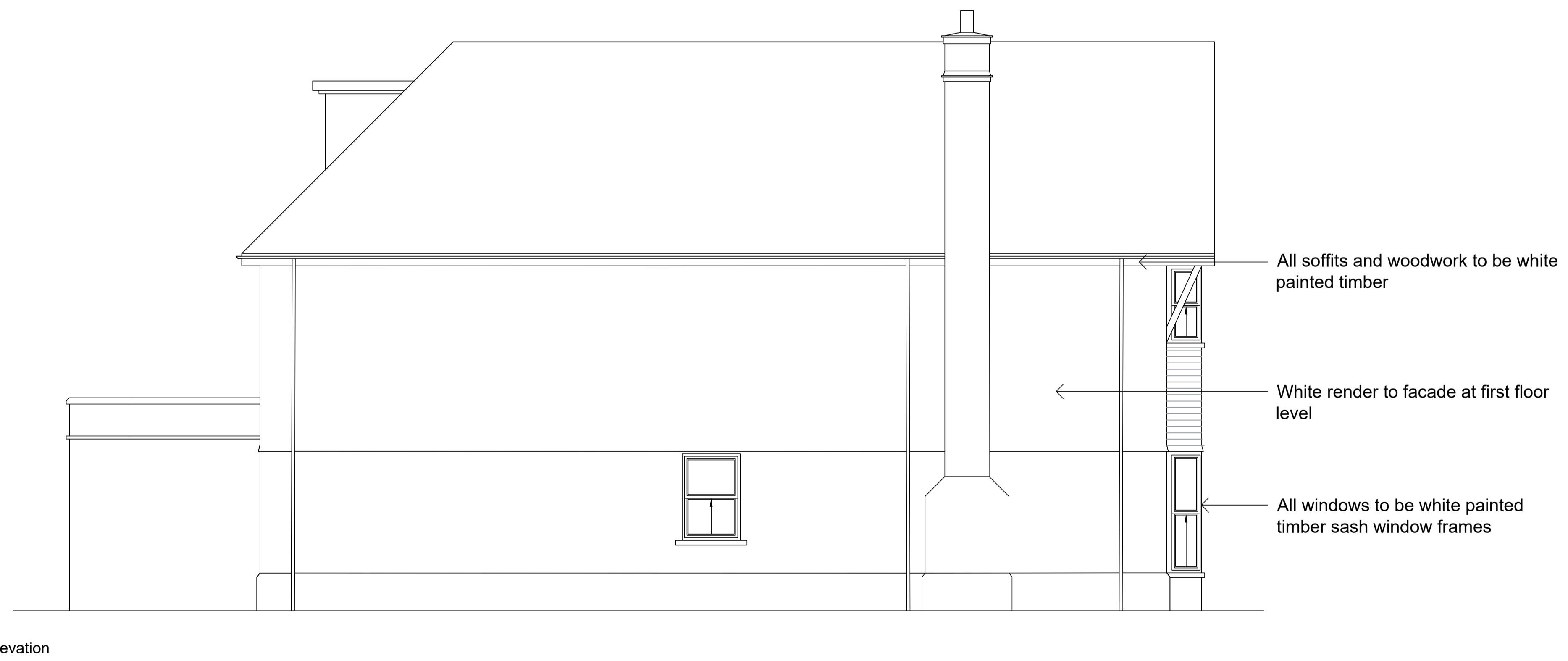
Proposed South Elevation

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
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DRAWING TITLE	House B and C Elevations North and South	
DWG NO.	DRAWN:	DATE:
22.073.112	SH CHECKED: KH	NOV 22



Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:50 @ A1		
DRAWING TITLE	House B and C Elevations East and West	
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22.073.113	SH	NOV 22
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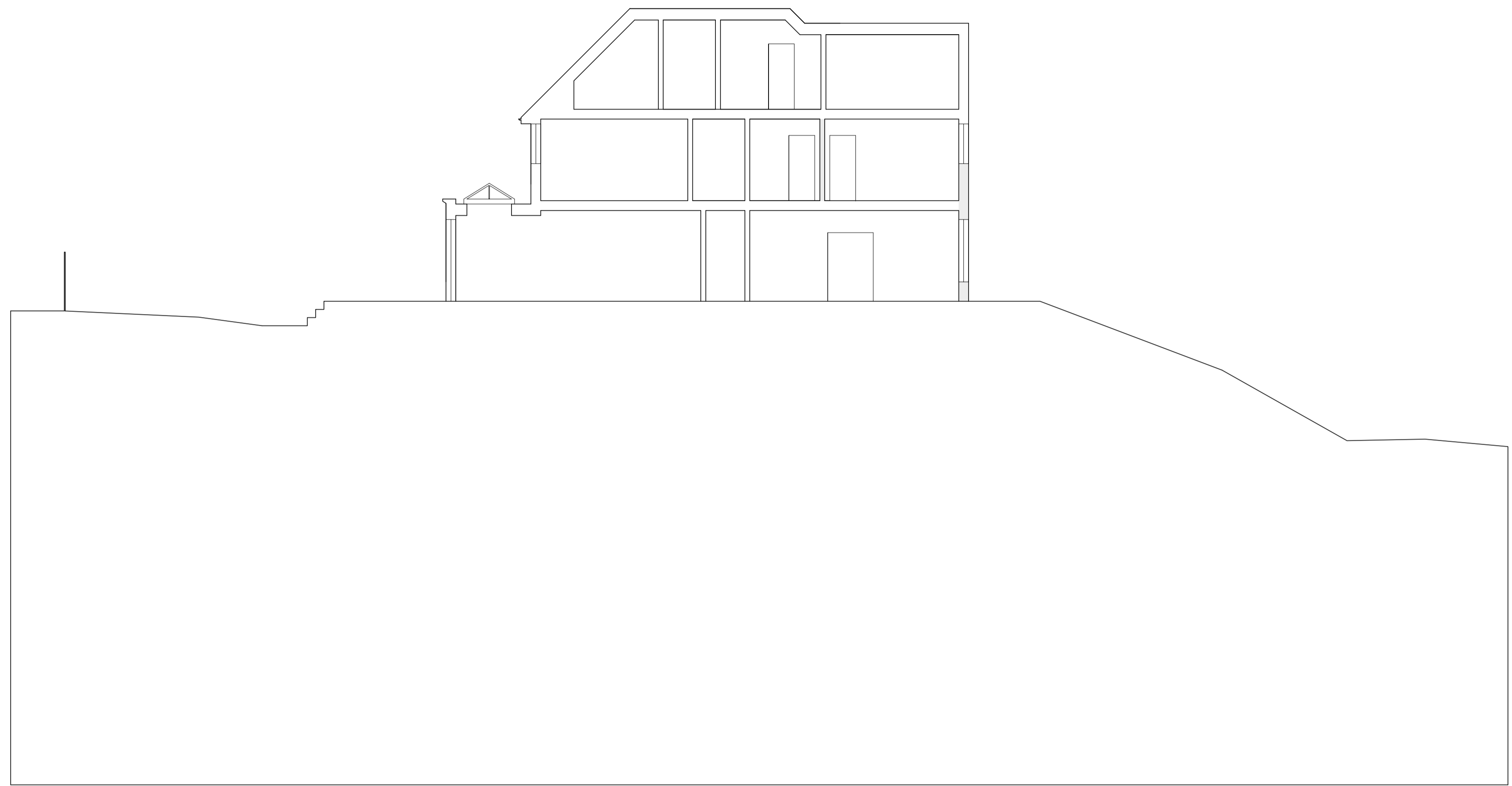
Proposed Section A-A

Planning

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<p>KEY</p>		

Harp & Harp Ltd.

CLIENT		Macar Developments
ADDRESS		Josil, Waterhouse Lane, Kingswood
SCALE	SCALE BAR	
1:100 @ A1		
DRAWING TITLE		Proposed Section A-A
DWG NO.	DRAWN:	DATE:
22.073.120	SH	NOV 22
	CHECKED:	
	KH	



Proposed Section B-B

Planning

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<p>KEY</p>		

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:100 @ A1		
1:200 @ A1		
DRAWING TITLE	Proposed Section B-B	
DWG NO.	DRAWN:	DATE:
22.073.121	SH	NOV 22
	CHECKED:	
	KH	



DERWENT HOUSE

THRILMERE HOUSE

PROPOSED HOUSE A

PROPOSED HOUSE B & C

HIGHLANDS HOUSE

Scale: 1:200



Scale: 1:100

Planning

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<p>KEY</p>	

Harp & Harp Ltd.

CLIENT	Macar Developments	
ADDRESS	Josil, Waterhouse Lane, Kingswood	
SCALE	SCALE BAR	
1:100 @ A1		
1:200 @ A1		
DRAWING TITLE	Proposed Street Elevation	
DWG NO.	DRAWN:	DATE:
22.073.130	SH	NOV 22
	CHECKED:	
	KH	